



GOVERNMENT OF BERMUDA
Ministry of Public Works & Environment

Department of Parks

Admiralty House

Draft Management Plan



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1.0 Background

Admiralty House Park, a 16.36-acre government reserve in Pembroke Parish, remains one of Bermuda's most historically and environmentally significant coastal parks. Classified as a Class B protected area under the Bermuda National Parks Act 1986, the site must be managed to ensure the conservation of its natural and cultural features while providing public access for recreation, education, and enjoyment.

This 2025 Management Plan updates the 1990s-era framework, aligning it with current environmental and heritage legislation, biodiversity goals, and climate adaptation priorities. It provides a policy-driven approach to heritage protection, sustainable visitor management, and community co-management.



Figure 1 - Admiralty House Park

2.0 Vision and Strategic Objectives

Vision Statement:

Admiralty House Park will serve as a living example of Bermuda's maritime heritage, ecological stewardship, and community partnership. It will be a place where history, biodiversity, and recreation coexist sustainably for present and future generations.

Strategic Objectives:

- Protect and interpret the site's rich naval and cultural heritage.
- Conserve native habitats and strengthen climate resilience.
- Provide equitable, safe, and inclusive visitor access.
- Foster partnerships with community groups, day camps, and schools.
- Support low-impact, educational, and heritage-based tourism.
- Promote awareness of Bermuda's role in Atlantic naval history.

3.0 Historical Context

Admiralty House Park has been a cornerstone of Bermuda's maritime history for over two centuries. Established in 1816 as the official residence of the Commander-in-Chief of the British Royal Navy's North America and West Indies Station, the property served as a strategic command and communications hub through the 19th century.

The site evolved over time to include key heritage structures. The Ballroom was constructed in 1897 for naval gatherings and social functions. The Stables building was constructed in 1831 and is currently the headquarters of Age Concern Bermuda. The Secretary's Cottage, circa 1860, and the Clerk's Cottage, circa 1820, were residential and administrative quarters. Dundonald Tunnel, built around 1850, is a remarkable feat of naval engineering linking the residence to Clarence Cove and Tulo Valley Government Plant Nursery.

Following the departure of the Royal Navy, the estate transitioned to public use in the mid-20th century, officially designated as a public park in 1986. Restoration and adaptive reuse of these structures are central to maintaining Bermuda's tangible connection to its naval past.



Figure 2 - Age Concern



Figure 2 - Ballroom



Figure 4 - Dundonald Tunnel



Figure 5 - Sub Aqua Club



Figure 3 - Proposed Restrooms



Figure 7 - Parks' Staff Room



Figure 8 - Casa dos Acores



Figure 9 - Pembroke Community Centre



Figure 10 - Field Hockey Association



Figure 4 - Scout Association



Figure 12 - Kayak Building



Figure 13 - Belco Substation

4.0 Environment and Ecology

Admiralty House Park encompasses diverse coastal and terrestrial habitats characteristic of Bermuda's North Shore. The site's steep cliffs, woodland margins, and open lawns support a range of native and endemic flora and fauna, including the Bermuda Cedar (*Juniperus bermudiana*), Palmetto (*Sabal bermudana*), and Olivewood (*Elaeodendron lanatum*).

Cliff faces along the northern boundary provide nesting sites for the White-tailed Tropicbird (*Phaethon lepturus catesbyi*), also known as the Longtail, which remains a valued species under Bermuda's Protected Species Act 2003. The marine environment adjacent to Clarence Cove sustains coral, seagrass, and nearshore reef ecosystems vital to local biodiversity. Vegetation management will focus on the restoration of native and endemic plant communities, which has already begun with the introduction of two microforest sites under the care of the Bermuda Zoological Society and the Scout Association of Bermuda. Phased removal of invasive species such as Casuarina and Brazilian Pepper will be an ongoing task. Following recent cliff falls, erosion control through native replanting and coastal vegetation will create buffers of increased stability and limitation to public access. Management Zones can be seen in Appendix 4.



Figure 14 - 1st Microforest at Admiralty House

4.1 General Plant Policy

The 2025 plant policy promotes restoration of Bermuda's native and endemic species to enhance biodiversity and strengthen climate resilience.

4.1.1 Policy Objectives

Re-establish native vegetation communities representative of pre-colonial Bermuda.
Prioritise the use of endemic species for landscaping and habitat restoration.
Reduce reliance on imported ornamentals and eliminate invasive species.

4.1.2 Planting and Maintenance Standards

New plantings will favour Bermuda Cedar (*Juniperus bermudiana*), Palmetto (*Sabal bermudana*), and Olivewood (*Elaeodendron lanatum*).

No herbicides or pesticides will be used within 20 metres of coastal or cave environments.
Composting of organic waste will be standard practice for all park maintenance.

4.1.3 Invasive Species Management

Regular monitoring and removal of *Casuarina equisetifolia*, *Schinus terebinthifolia* (Brazilian Pepper), and *Leucaena leucocephala* will be carried out by trained volunteers under supervision of the Parks Conservation Section.

5.0 Climate Resilience and Sustainability

Rising sea levels, coastal erosion, and increased storm intensity pose growing threats to the park's heritage structures and ecosystems. Key sustainability actions could include:

1. Coastal Resilience: Implement natural shoreline defences and vegetative stabilization in high-risk erosion areas.
2. Energy Efficiency: Transition the park operations and lighting to renewable energy sources. This will include the installation of new lighting within the park for safety.
3. Waste Management: Expand waste management to include recycling.
4. Sustainable Materials: Require that all large events and seasonal vendors use sustainable and reusable materials. This would mean that single use plastics and the use of generators would be refused within the park.

6.0 Visitor Experience and Interpretation

Admiralty House Park attracts thousands of visitors annually for recreation, swimming, cliff exploration, and historical interest. To maintain a balance between access and conservation, facilities will be improved under a sustainable design framework. Enhancements will focus on accessibility through the resurfacing of the main paths to accommodate mobility-impaired visitors and installing handrails on key slopes. Pathway phased repairs can be seen in Appendix 4. Signage to assist with wayfinding and site interpretation will be key. Expanding interpretive panels by incorporating QR-coded stories linking to online resources about naval history and ecology is a great way to update standard signage. Updating life-saving stations and emergency contact information near Clarence Cove is necessary, and work has already begun to rebuild the stairs out of the water at this site.



Figure 15 - Example of Pathways for Resurfacing

7.0 Community Engagement and Co-Management

Community participation is a cornerstone of sustainable park management. Admiralty House Park has long been valued not only for its natural and historic qualities, but also as a place of connection and shared memory. This plan establishes a co-management approach between the Department of Parks and local partners to strengthen this relationship.

Key Actions for Engagement and Stewardship:

- Partnership Framework: Formalise/d agreements with community organisations such as Age Concern Bermuda, The Scout Association of Bermuda, The African Diaspora Heritage Trail Foundation, The Bermuda Zoological Society Microforest Project, etc.
- Volunteer Programmes: Develop a “Friends of Admiralty House Park” initiative for litter management, heritage maintenance, and citizen-science biodiversity monitoring.
- Education and Outreach: Collaborate with the Ministry of Education to deliver curriculum-aligned field programmes and park interpretation activities. Additionally, consult with camp organizers to further their educational goals.
- Public Feedback Channels: Create digital feedback portals and regular consultation sessions to gather input on park priorities.
- Cultural Events: Facilitate low-impact, heritage-oriented public events that celebrate Bermuda’s naval and maritime history to encourage a sense of ownership.

The park will become a living classroom and civic space where all generations can participate in environmental restoration, cultural appreciation, and sustainable recreation.



Playground



Ball Hockey



Basketball



Tennis Court



Beach



Cliff and Tunnel Exploration



Barbecue

Figure 16 - Examples of Activities in Park

8.0 Cultural Heritage and Preservation

Admiralty House Park holds one of Bermuda's most concentrated collections of 19th-century naval heritage resources. Preservation of these assets is central to the park's management vision.

8.1 Heritage Inventory and Significance

Key surviving structures include:

1. Admiralty House Ruins: Foundations and remaining masonry walls of the original residence.
2. Ballroom (1897): A rare example of late-Victorian naval architecture.
3. Stables (1831), Secretary's and Clerk's Cottages: Representative of auxiliary service buildings within the Admiralty complex.
4. Subterranean Tunnel: Constructed under Admiral Dundonald's command, illustrating 19th-century military engineering.
5. The 1813 Midshipman Francillon Memorial: Historic monument.

Each feature contributes to Bermuda's maritime story and requires tailored conservation measures.

8.2 Conservation Policy

Every five years, comprehensive condition surveys should be carried out on all heritage structures to document their physical state, identify emerging risks, and establish priorities for conservation work. Any surviving masonry requires careful stabilisation using lime-based mortars that match the original construction in composition, appearance, and performance, ensuring long-term compatibility with historic materials. To enhance public understanding and appreciation, interpretive signage should be installed to clearly explain the architectural functions of the structures as well as their broader naval context, allowing visitors to engage more deeply with the site's history. At the same time, any new park infrastructure must be designed and positioned so that it remains visually subordinate to the historic fabric, avoiding visual intrusion and preserving the primacy and integrity of the heritage environment.

8.3 Adaptive Reuse and Interpretation

Where feasible, structures may be adaptively reused for cultural or educational purposes. Interpretation will blend physical signage with QR-based experiences, allowing visitors to visualise the Admiralty estate as it appeared in the 19th century.



Figure 17 - Historic Gravesite

The current schedule of properties and sites, along with their occupants within Admiralty House Park are as follows:

Table 1 - Schedule of Properties and Sites

Site/Property	Occupant	Comments
1 North Shore Road, Admiralty House Park	Portuguese Society – Casa Dos Acores	Fully renovated and under long term lease
3 North Shore Road, Admiralty House Park – Scouts Hut	Scouts Association of Bermuda	Fully renovated and under long term lease
2 Admiralty Lane, Admiralty House Park	Bermuda Sub Aqua Club (BSA) and African Diaspora Heritage Trust (ADHT) Bermuda Foundation	To be renovated; and a long term lease to be granted. See plans in Appendix 2.
24 Admiralty Lane	Age Concern, Bermuda	Under long term lease in support of Seniors
8 Admiralty Lane – Ball Room & Kayak Building	vacant	Under consideration for redevelopment. Preliminary plans in Appendix 3.
Water tank		Under consideration for renovation or redevelopment in connection to 2 Admiralty Lane renovation to provide additional water supply for public washroom
Parks Ground maintenance Team resource Building	Parks Department	Washroom/Breakroom
Tennis court	Public facility – Youth & Sports	
Basketball Court	Public Facility	Planned/proposed improvement – fencing

9.0 Implementation and Phasing

Successful delivery of the Admiralty House Park Management Plan depends on phased implementation guided by available resources, community partnerships, and environmental priorities. The following framework sets out short-, medium-, and long-term actions.

9.1 Implementation Principles

An adaptive management approach should be adopted to ensure that the program remains responsive and flexible, allowing conservation strategies and implementation measures to evolve as new information emerges, site conditions change, and stakeholder feedback is received. Within this framework, priority must be given to works that directly address health, safety, and environmental protection, ensuring that urgent risks are mitigated before undertaking broader improvements or enhancements. To support the continuity and effectiveness of these initiatives, funding should be pursued through a combination of government allocations, competitive grants, and partnership contributions, creating a diversified and resilient financial base capable of sustaining long-term management commitments. Public/Private Partnerships will continue to be essential for the Department of Parks.

9.2 Implementation Phases

Table 2 - Management Timeline

Phase	Timeframe	Focus	Key Outcomes
Phase 1	1-2 Years	Immediate maintenance and safety upgrades.	Structural stabilisation (especially the Ballroom), improved signage, erosion control, pathway resurfacing.
Phase 2	3-5 Years	Infrastructure and accessibility.	Facilities enhancement, renewable energy systems, public restrooms.
Phase 3	6-10 Years	Habitat and heritage restoration.	Full implementation of conservation plans, expanded interpretation.

9.3 Resource Planning

Capital and operational costs will be reviewed annually as part of the Department's budgeting process. Strategic partnerships will be encouraged to share maintenance responsibilities, develop volunteer projects, and co-fund heritage restoration.

10.0 Monitoring and Review

Continuous monitoring ensures accountability, transparency, and adaptability in achieving the plan's goals. This plan will be reviewed and adapted every five years as necessary.

10.1 Performance Indicators

Indicators will measure progress in biodiversity restoration, visitor satisfaction, heritage conservation, and operational efficiency.

Table 3 - Performance Measures

Objective	Indicator	Frequency	Responsible Unit
Biodiversity Restoration	Number of native species replanted; invasive species removed	Annual	Microforest Project
Visitor Experience	Feedback scores, accessibility audits through QR code experience meters.	Biennial	Department of Communications
Heritage Preservation	Structural integrity reports, interpretive upgrades.	Triennial	Private/Public Partnership
Sustainability	Energy consumption and waste diversion metrics.	Annual	Maintenance and Development

10.2 Review Schedule

The plan will be comprehensively reviewed every five years to assess overall progress, incorporate emerging knowledge, and integrate feedback received from the public and key stakeholders. In addition to these major reviews, annual internal progress reports will be prepared to record achievements, analyse challenges, and identify any adjustments needed to keep implementation on track. To maintain transparency and strengthen ongoing community engagement, the outcomes of both the five-year reviews and the annual reporting process will be shared publicly, ensuring that stakeholders remain informed and involved throughout the life of the plan.

Monitoring data will directly inform adaptive management actions. This will allow policies, practices, and priorities to evolve in response to new ecological or social information.

11.0 Key Stakeholders and Public Organisations

The successful planning, management, and long-term stewardship of this initiative requires collaboration among a diverse group of stakeholders who contribute unique expertise, resources, and perspectives. These partners play vital roles in ecological protection, heritage preservation, education, community engagement, and sustainable tourism development. The following list identifies key stakeholders, outlines their primary interests or roles, and describes the mechanisms through which they will engage in the implementation process.

- 1. Department of Parks**
 - Lead management and policy coordination with direct oversight of plan implementation.
- 2. Department of Environment and Natural Resources**
 - Ecological monitoring and climate resilience support.
- 3. Department of Public Lands and Buildings**
 - Management of leases and infrastructure for all structures.
- 4. Bermuda National Trust**
 - Heritage conservation and interpretation. A formal partnership through an MOU can be established.

5. Bermuda Audubon Society

- Habitat restoration and bird monitoring, through and established MOU. The offer volunteerism and citizen-science programmes.

6. Bermuda Tourism Authority

- Heritage and eco-tourism integration. Can provide consultation and promotion assistance.

7. Local Community Groups

- Environmental education and outreach with collaborative activities. Can assist with monitoring and reporting.

8. Schools and Camps

- Environmental education and research through field learning programmes.

9. Residents of Pembroke Parish

- Adjacent landholders and park users that can be engaged through public consultations and feedback sessions.

12.0 Park Access

There are numerous access points to the park. There are three main entrances with one on North Shore Road and two on Spanish Point Road. The most western main entrance has a gate; however, it is never closed due to usage of the Stables building by Age Concern and the Parks' Staff Room. Within the park, there are seven additional gates, which are meant to be closed to vehicular traffic at all times. There are two permanent staff members on site which assist in maintaining the closed gates. Five of these gates are in need of repair. At least one is adjacent to a hedge, which bikes drive through to gain entry to the park. This will need to be remedied for safety.



Figure 19 - Internal Gates

Appendix 1: Signage and Wayfinding Plan

A unified signage system ensures visitor safety, accessibility, and consistent identity across Bermuda's National Parks. Admiralty House Park's signage plan follows the 2025 Bermuda Parks Design Standard.

A.4.1 Signage Categories

Table 4 - Signage Categories

Category	Purpose	Example
Orientation	Entry signage with maps and park rules.	Main entrance
Interpretation	Educational panels on heritage and ecology.	Ballroom ruins, Clarence Cove, etc.
Directional	Wayfinding between trails and amenities.	Trail junctions
Regulatory	Safety and conservation notices.	Cliff edges, caves, etc.

A.4.2 Accessibility Standards

All new signage will comply with international accessibility guidelines: high-contrast colours, non-reflective surfaces, and bilingual English-Portuguese information where appropriate.

A.4.3 Digital Integration

QR-coded signage will connect visitors to the Department of Parks website, providing real-time updates on weather conditions, conservation projects, and upcoming events.

Figure A2: Sample Park Signage Design (Insert Figure)

Appendix 2: African Diaspora Heritage Trail Bermuda Foundation Building Plans



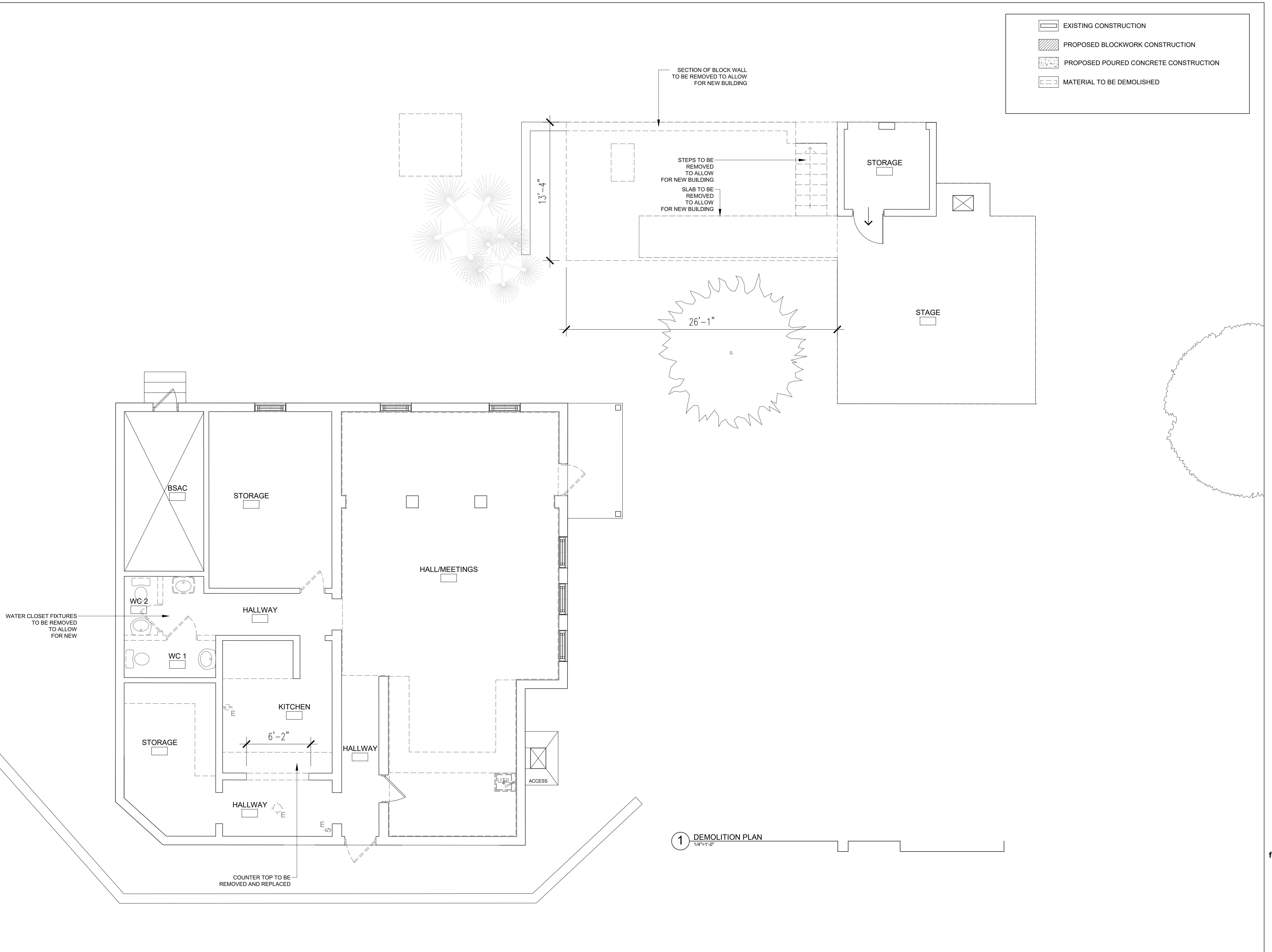
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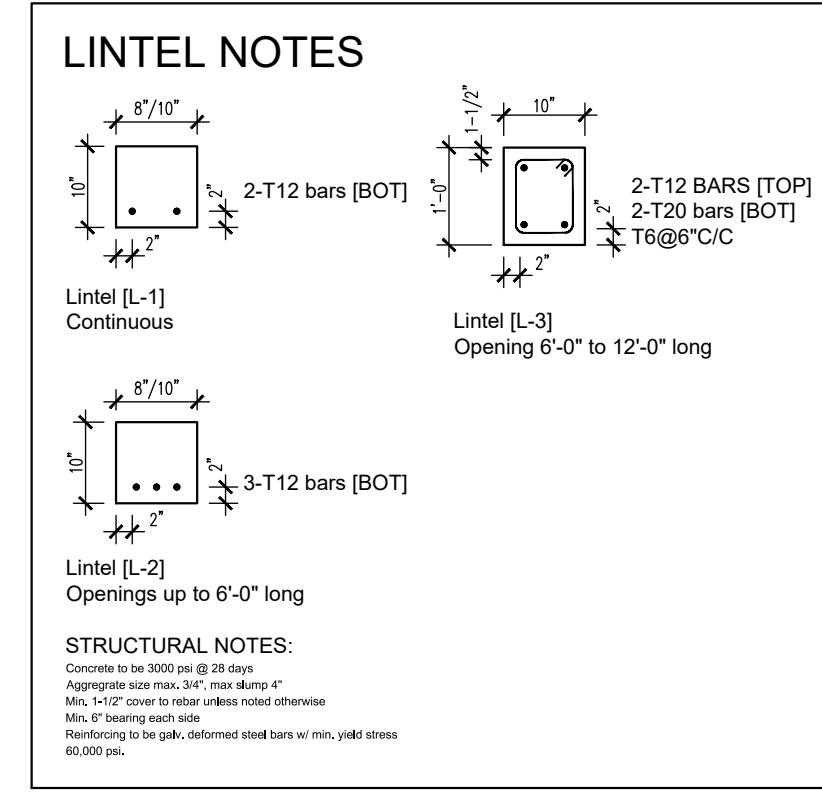
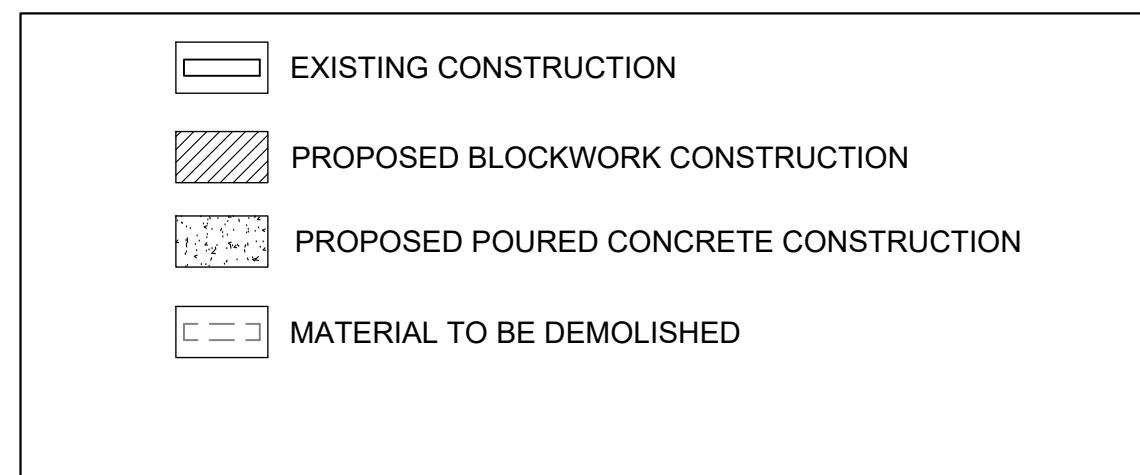
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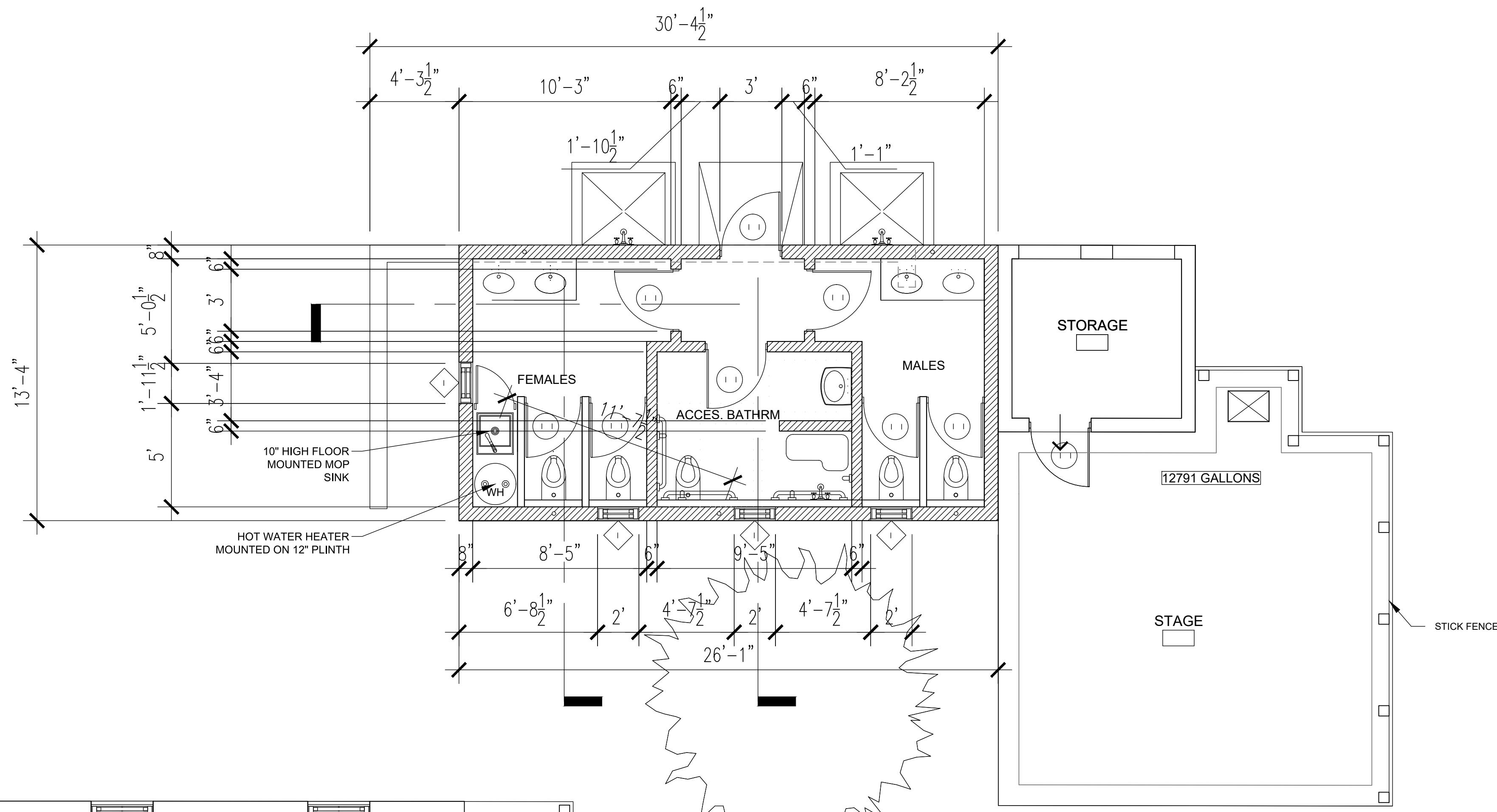
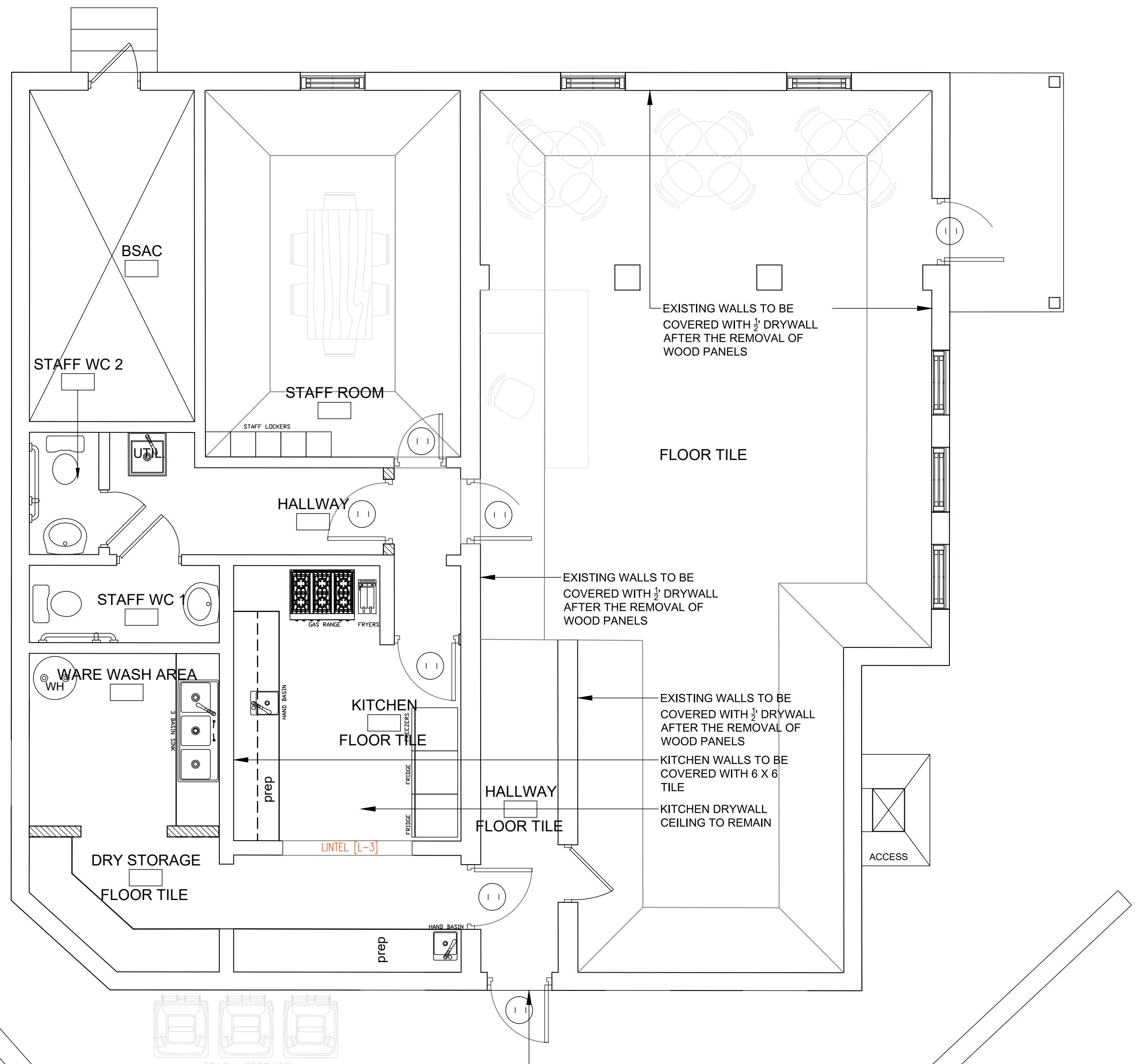
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STRUCTURAL NOTES:

Concrete to be 3000 psi @ 28 days
Aggregates to be 5/8" to 1" max
Min. 1-1/2" cover to rebar unless noted otherwise
Min. 3" cover to slab
Reinforcing to be galv. deformed steel bars w/ min. yield stress
60,000 psi.





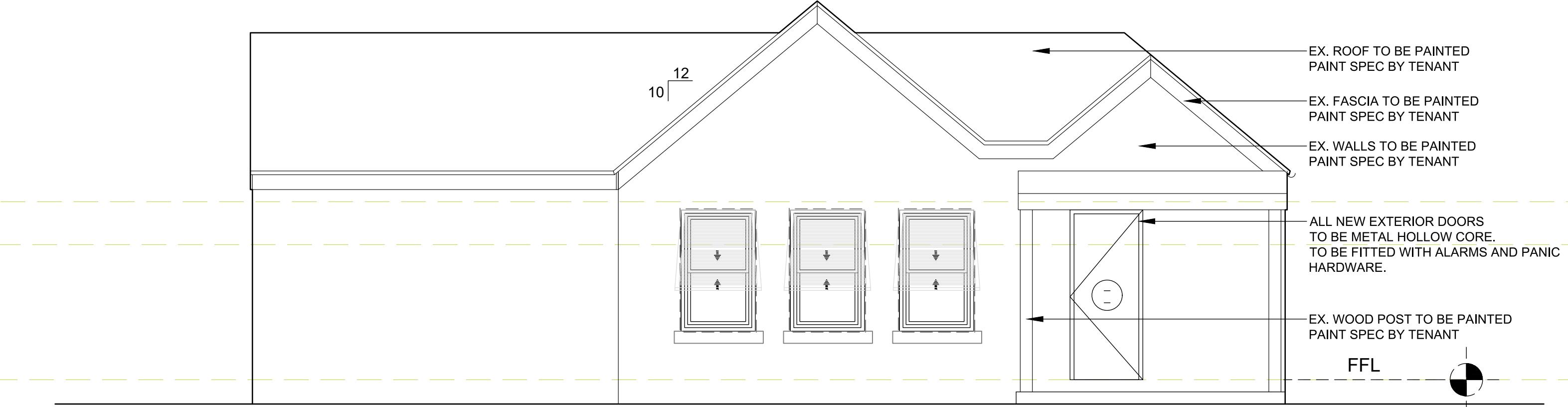
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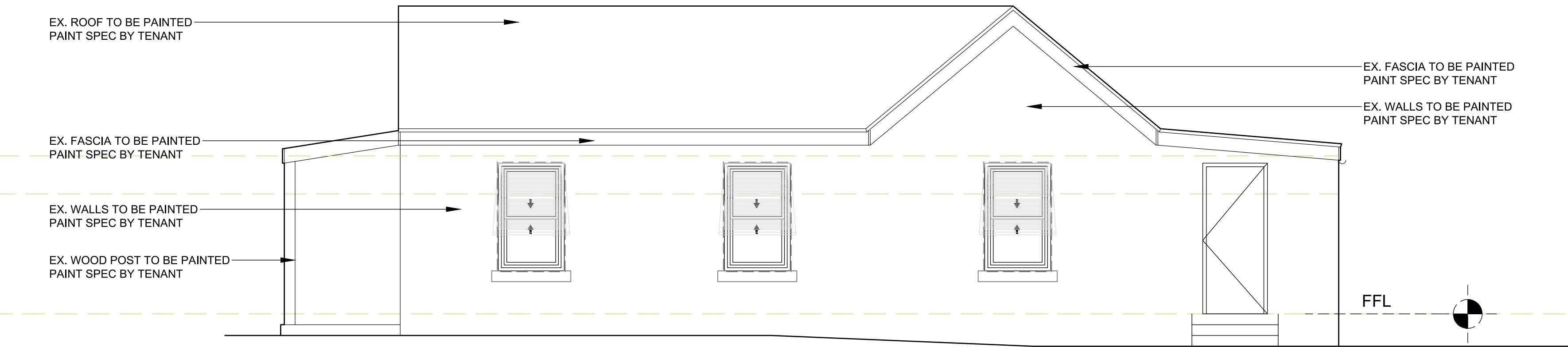
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1/4" = 1'-0"



2 EAST ELEVATION

1/4" = 1'-0"

11.10.25 5 ISSUED FOR PERMIT KVB

09.12.23 4 REVISED FOR HEALTH DEPT KVB

07.24.23 2 ISSUED FOR CLIENT/LANDLORD KVB

03.21.24 1 ISSUED FOR FIRE CERTIFICATE KVB

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CONSULTANT:

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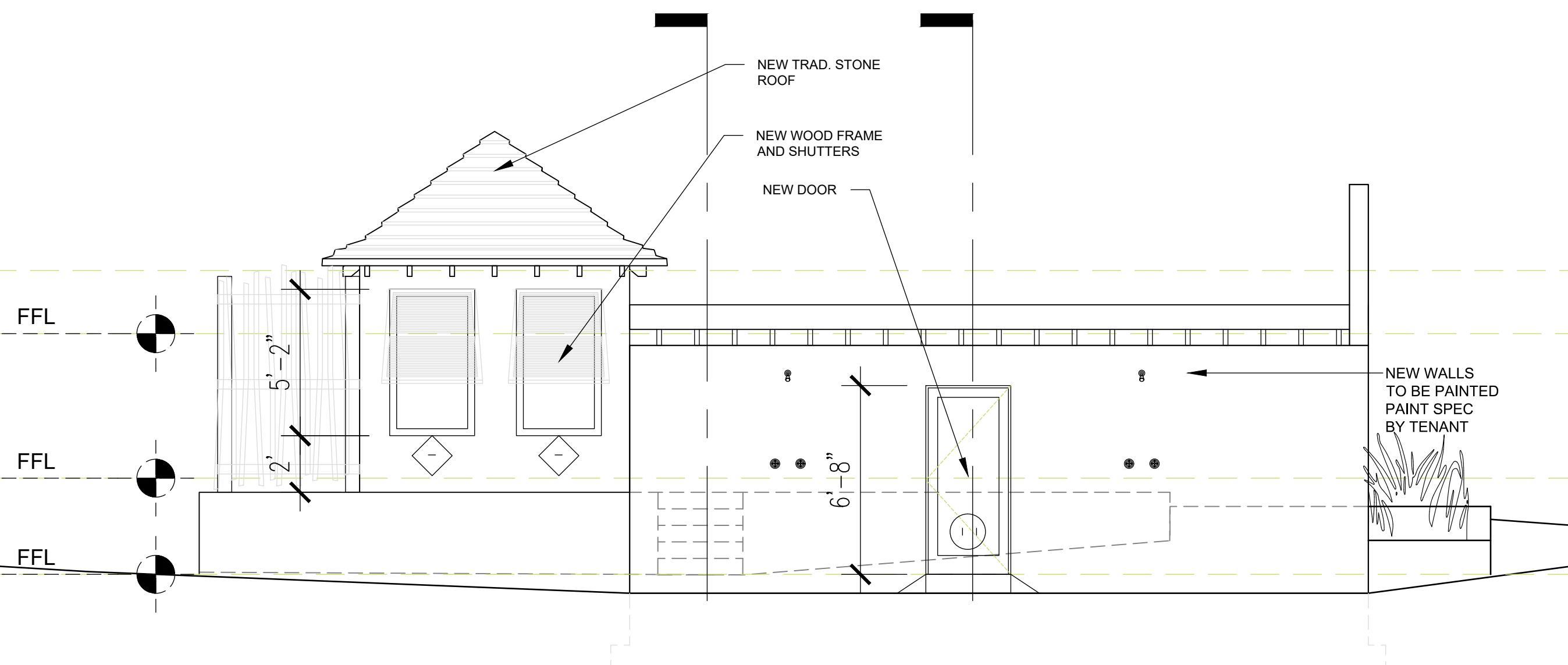
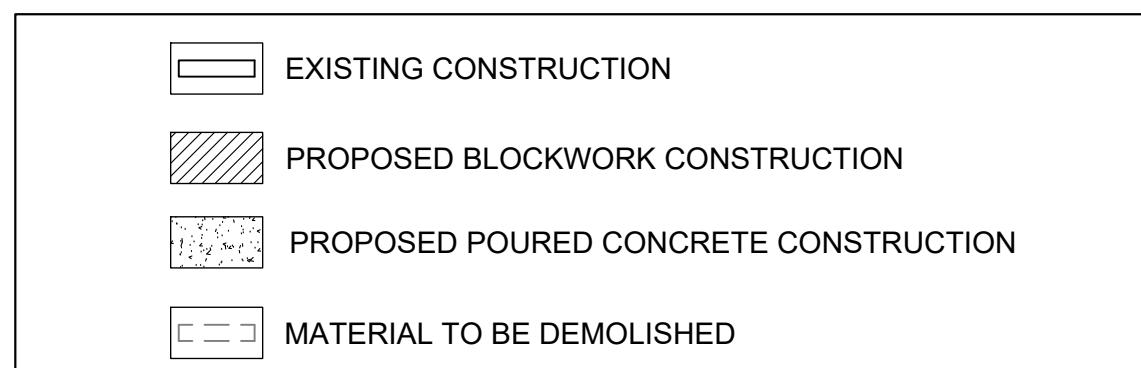
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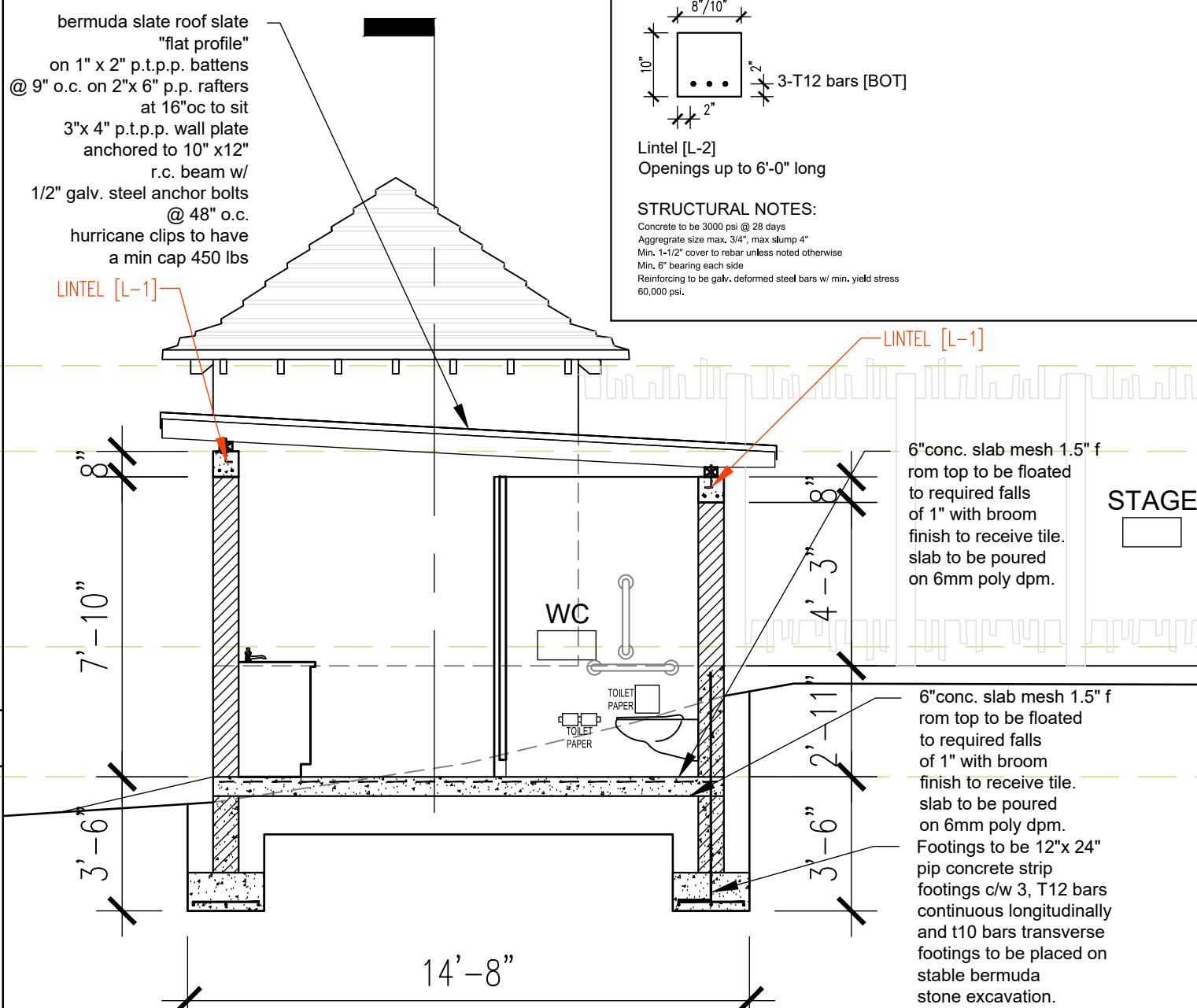
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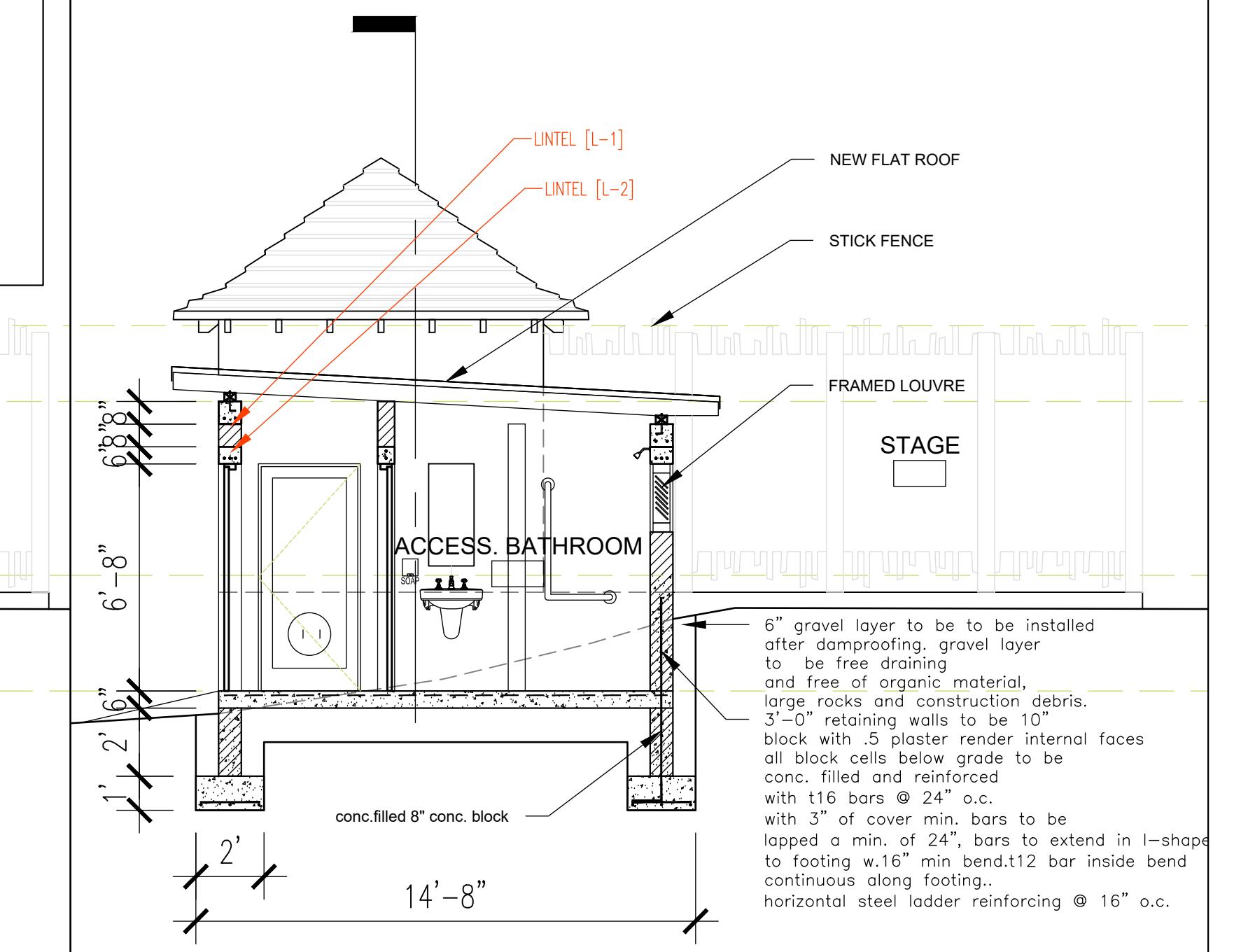
CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE



1 EAST ELEVATION
1/4" = 1'-0"



2 SECTION
1/4" = 1'-0"



3 SECTION
1/4" = 1'-0"



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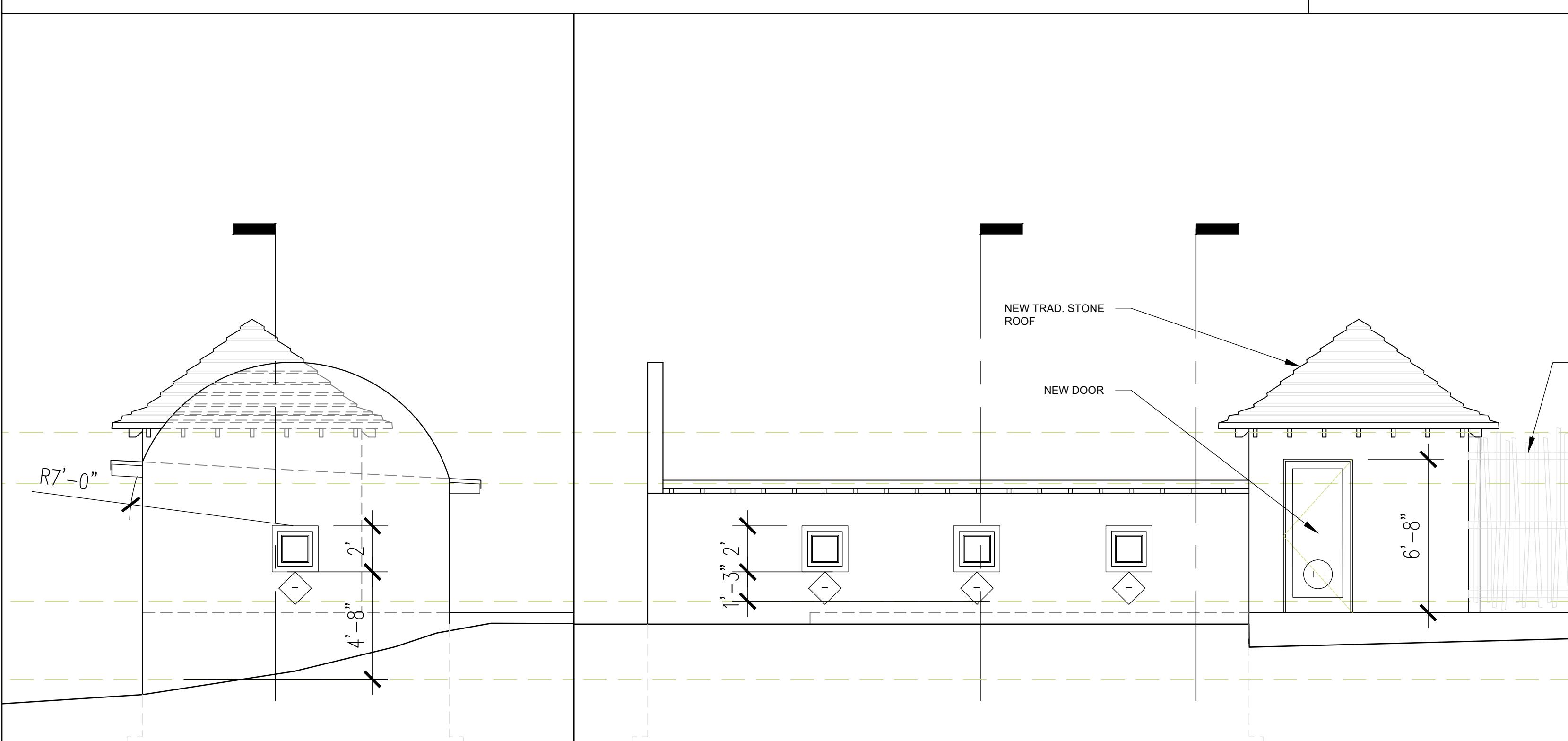
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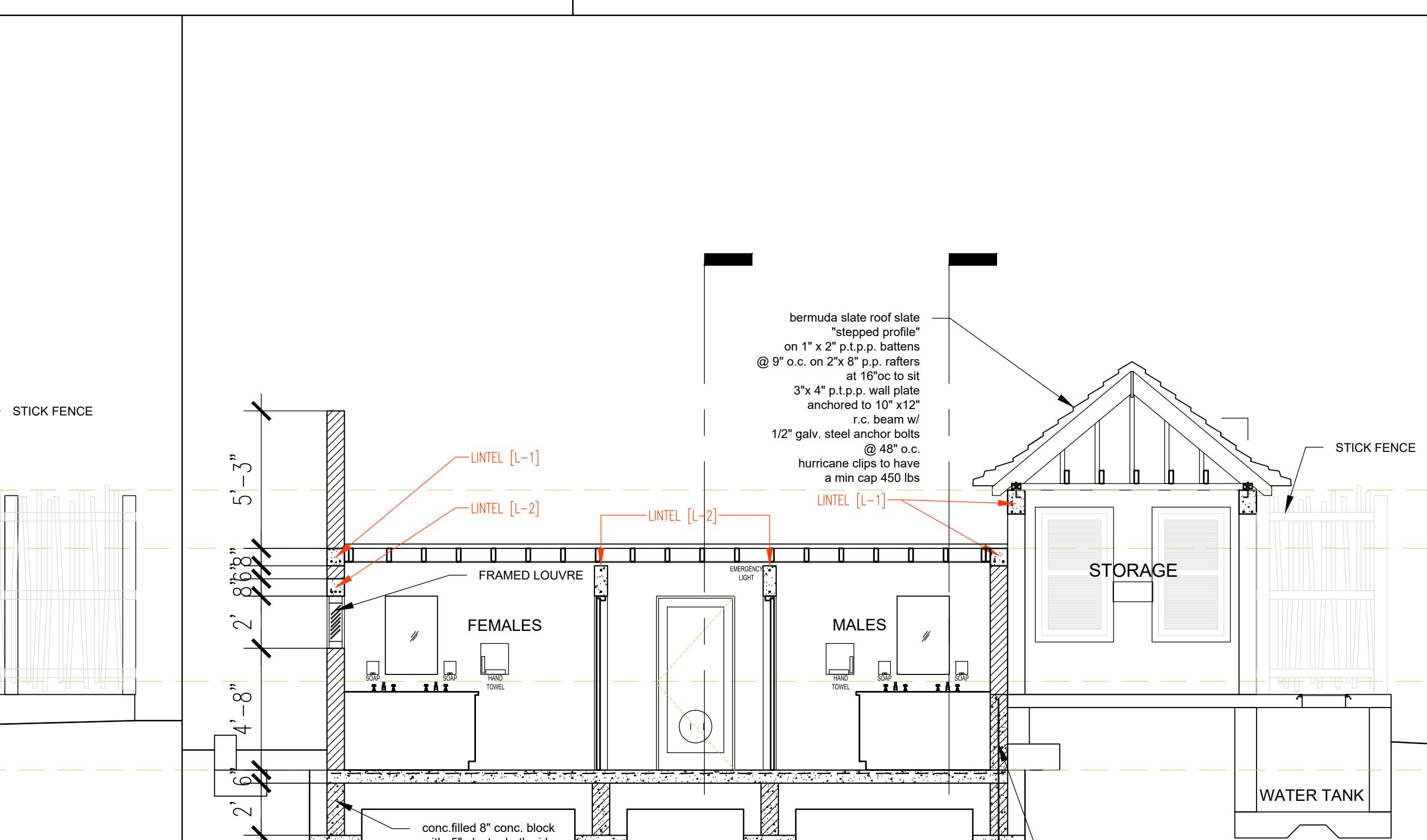
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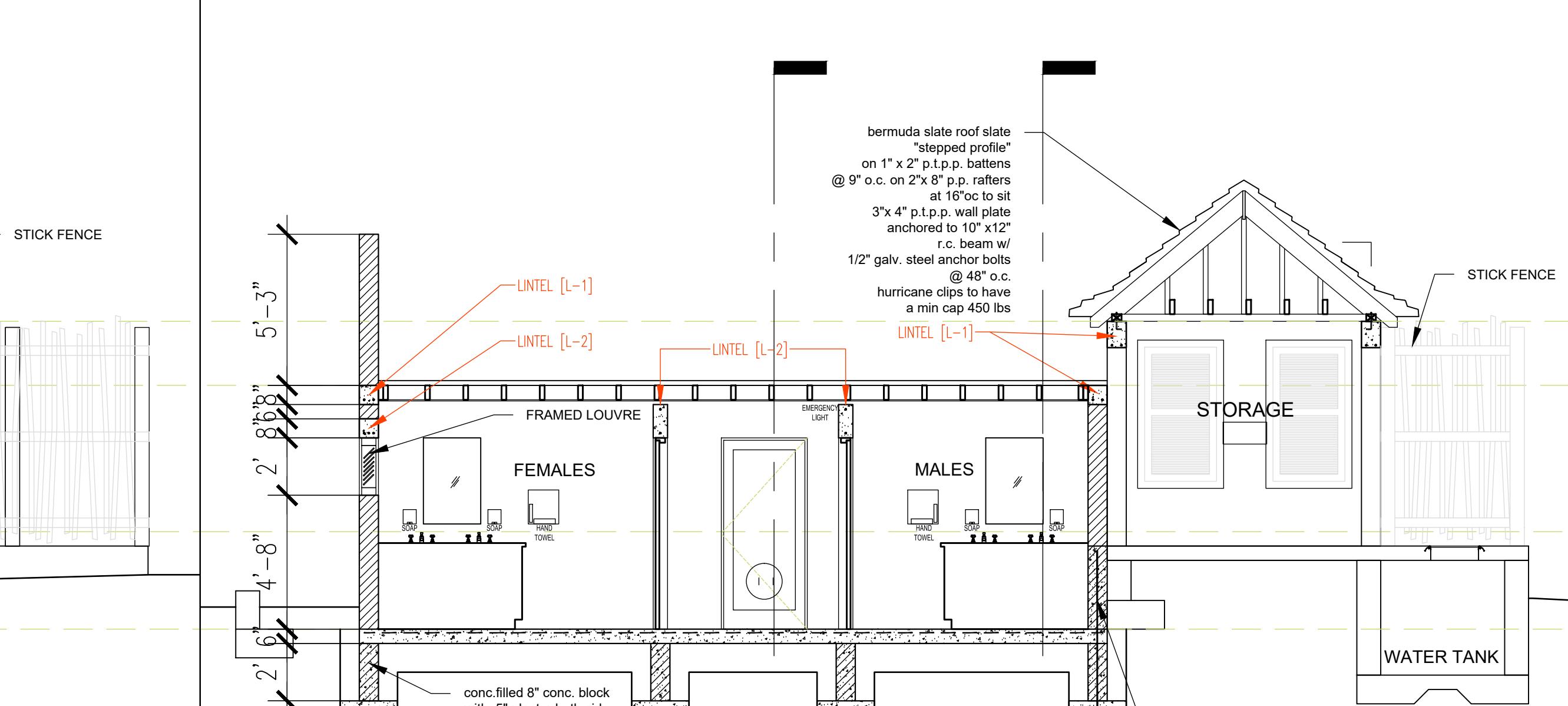
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5 WEST ELEVATION
1/4" = 1'-0"



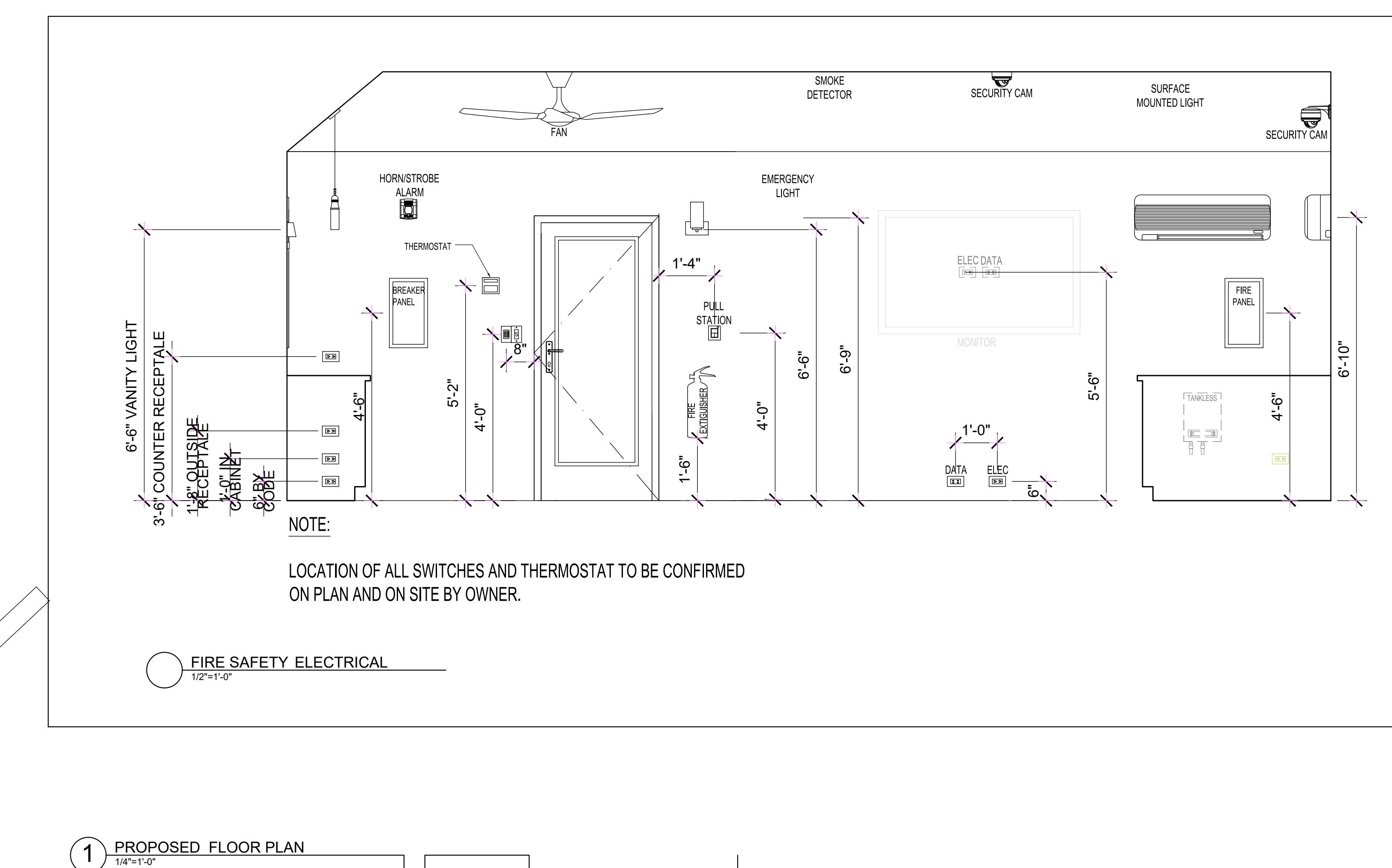
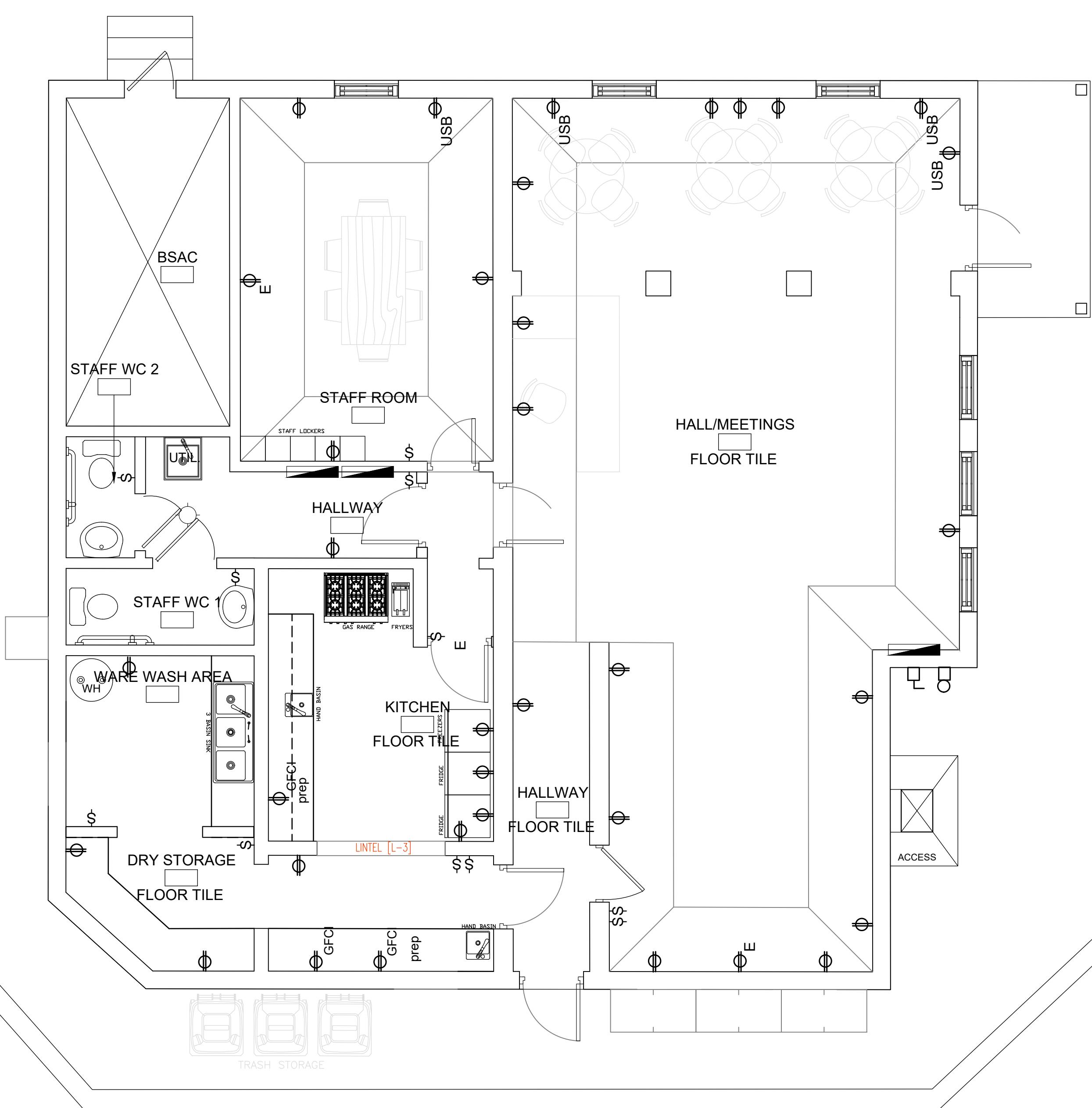
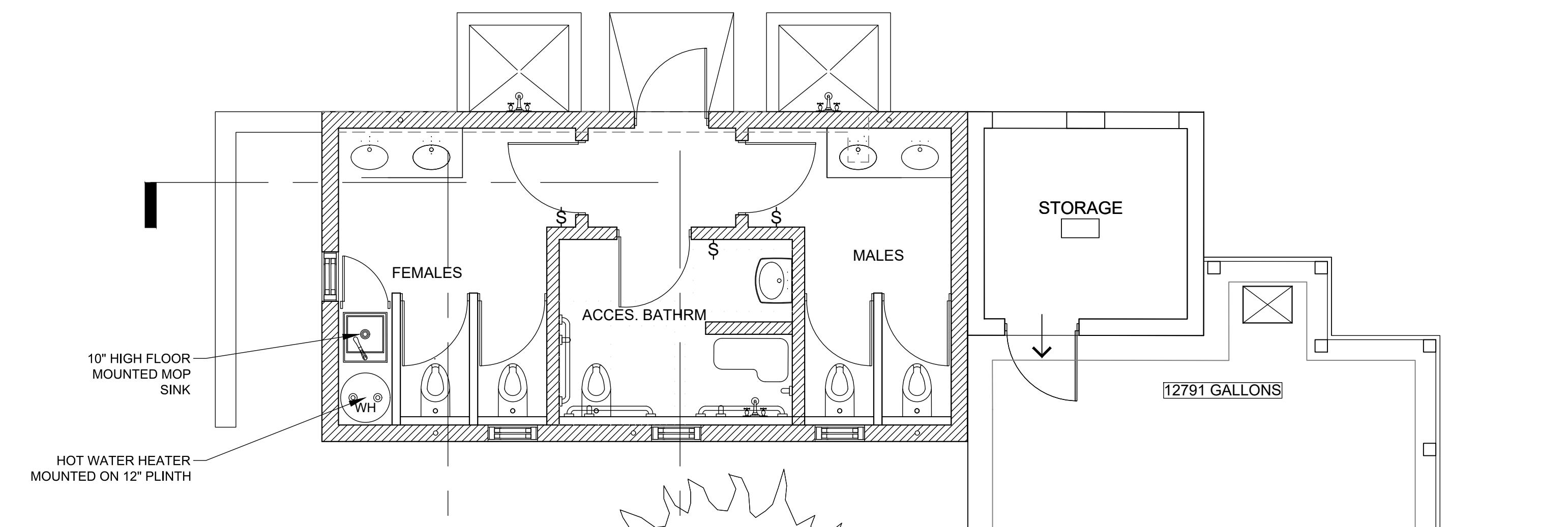
6 SECTION
1/4" = 1'-0"

A-5



ELECTRICAL KEY

□	MAINS DISCONNECT
□□	B.E.L.C.O. METER
■■■	CIRCUIT BREAKER PANEL
▨▨▨	FIRE PANEL
WP	WEATHER PROOF FIXTURE
GFP	GROUND FAULT PROTECTED
USB	USB PORT
E	EXISTING OUTLET/FIXTURE
▮▮	TWO PORT COMMUNICATIONS OUTLET CABLES RUN FROM PORT TO PATCH PANEL
110 V DUPLEX OUTLET	
110 V OUTLET AT COUNTER HEIGHT	
110 V OUTLET SPLIT WIRED	
220 V OUTLET	
◆◆◆	SPECIAL PURPOSE OUTLET



11.10.25 5 ISSUED FOR PERMIT KVB
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03.21.23 1 ISSUED FOR FIRE CERTIFICATE KVB
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CONSULTANT:

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to No. 2 Admiralty Lane
for the African Diaspora Heritage Trail
Bermuda Foundation

DRAWING TITLE:
PROPOSED
ELECTRICAL
PLAN

PROJECT NO. DRAWING NO. REVISION:

E-1.0

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GENERAL NOTES

All drawings and specifications are intended to be read in conjunction with all other drawings and specifications issued in respect of this project.

The contractor shall check and verify all dimensions and levels etc. on site and with all other drawings and specifications. The contractor shall be advised immediately of any discrepancy. All work shall be to the Agent's approval.

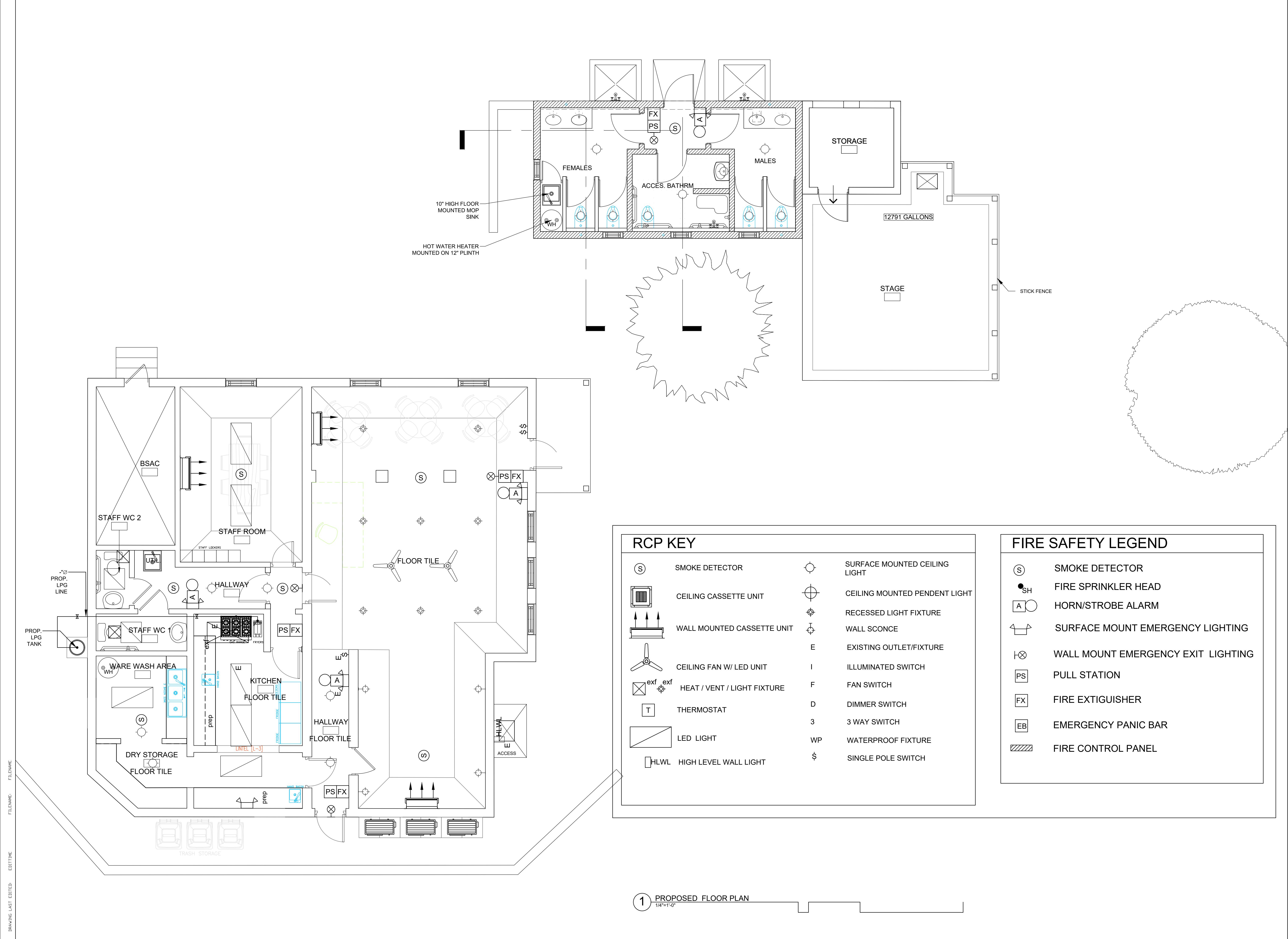
All work shall conform to the current National Building, Electrical, Fire & Health codes.

DO NOT SCALE DRAWINGS

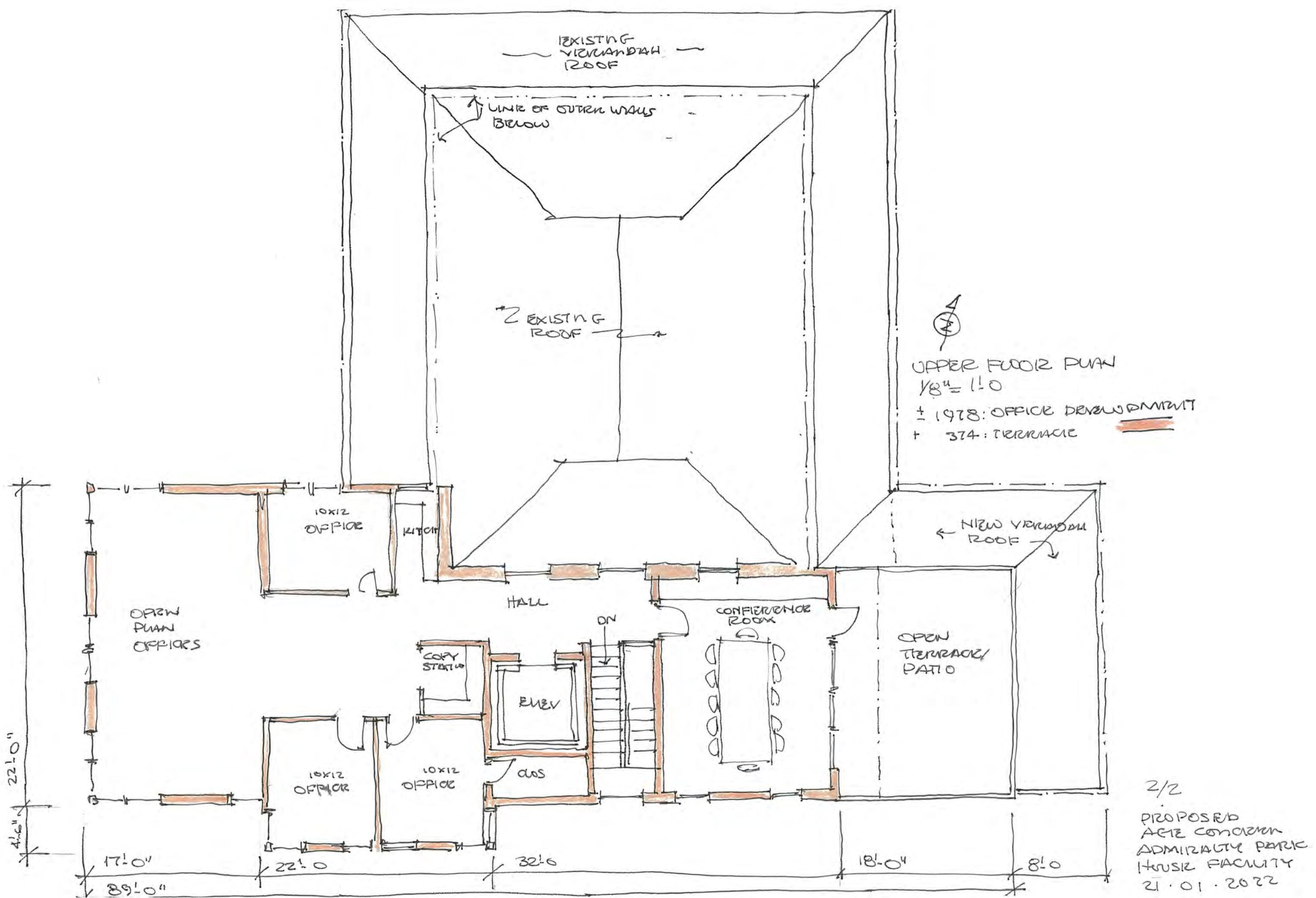
11.10.25 5 ISSUED FOR PERMIT KVB
09.12.23 4 REVISED FOR HEALTH DEPT KVB
07.24.23 2 ISSUED FOR CLIENT/LANDLORD KVB
03.11.22 1 ISSUED FOR BUILDING PERMIT KVB
DATE: NO: DETAILS: BY:
CONSULTANT:

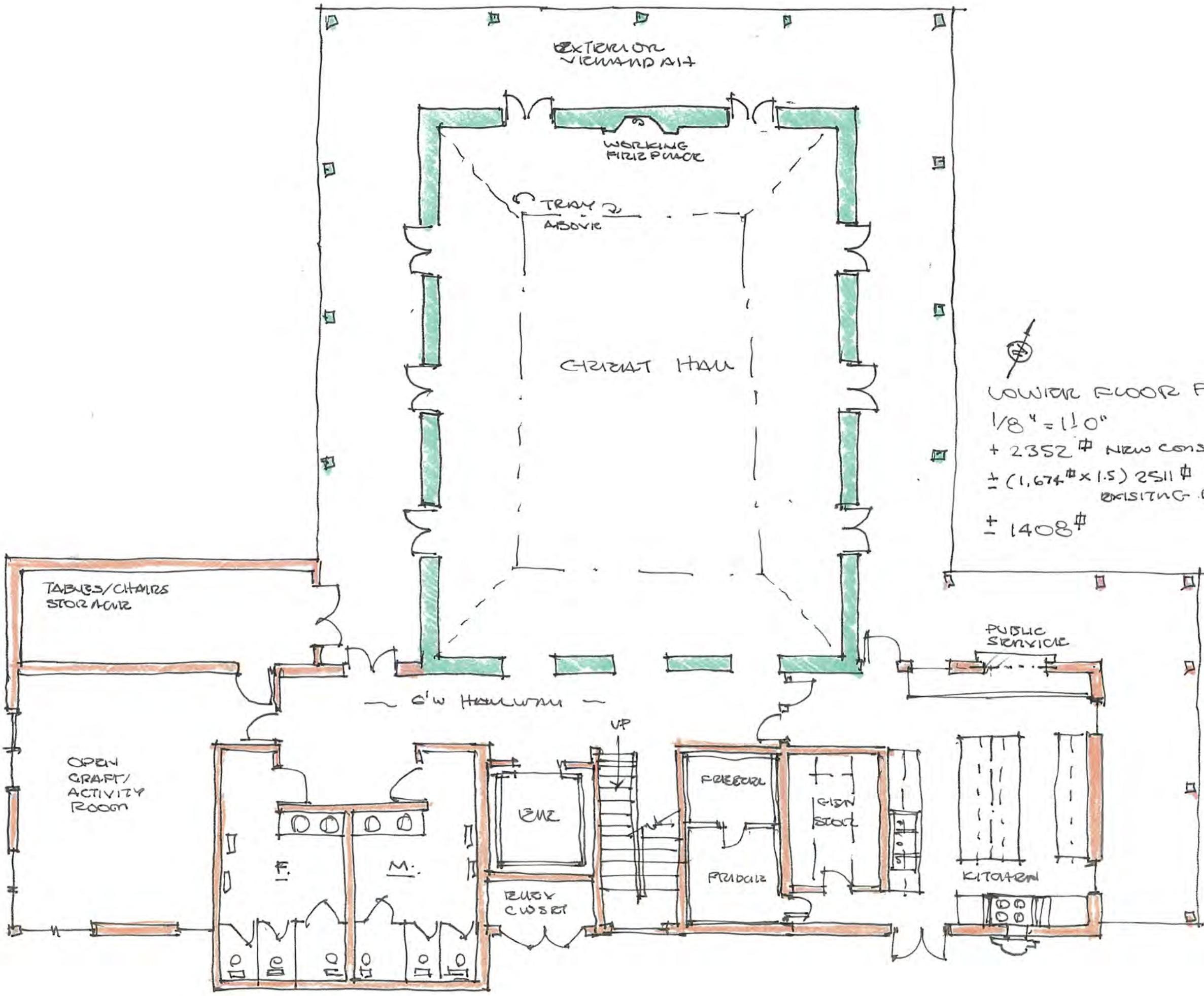
DATE: 06.04.24 DRAWN BY: KVB
SCALE: CHECKED BY: 1/4" = 1'-0" KVB
PROJECT TITLE: Proposed Additions & Alterations to No. 2 Admiralty Lane for the African Diaspora Heritage Trail Bermuda Foundation
DRAWING TITLE: PROPOSED REFLECTED CEILING AND FIRE SAFETY PLAN
PROJECT NO. DRAWING NO. REVISION: - E-2.0 -

CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE



Appendix 3: Preliminary Proposal for Ballroom





LOWER FLOOR PLAN

$1/8" = 110'$

$\pm 2352 \text{ ft}^2$ NEW CONSTRUCTION

$\pm (1.674 \text{ ft}^2 \times 1.5) 2511 \text{ ft}^2$

EXISTING - RENOVATION

$\pm 1408 \text{ ft}^2$

1/2

Appendix 4: Proposed Management Zones

Admiralty House Park Management Zones

- Admiralty House Park
- Buildings
- Agriculture
- Microforests
- Other Conservation Zones
- Bluebird Zone
- Cliff Remediation Zone
- Pathway Phase 1
- Pathway Phase 2
- Pathway Monitoring

